



# SOUTHERN ARIZONA LOGISTICS CENTER

**CROSS DOCK BUILDINGS**

**FAST & EASY ACCESS TO PHOENIX, AZ**

**AVAILABLE FOR LEASE 2Q 2023**



**I-10 & TANGERINE ROAD | MARANA, ARIZONA 85658**

**Building 1**  
±431,460 SF (divisible)

**Building 2**  
±507,600 SF (divisible)

**Building 3**  
±37,500 SF

**Building 4**  
±583,200 SF (divisible)

**Building 5**  
±213,840 SF (divisible)

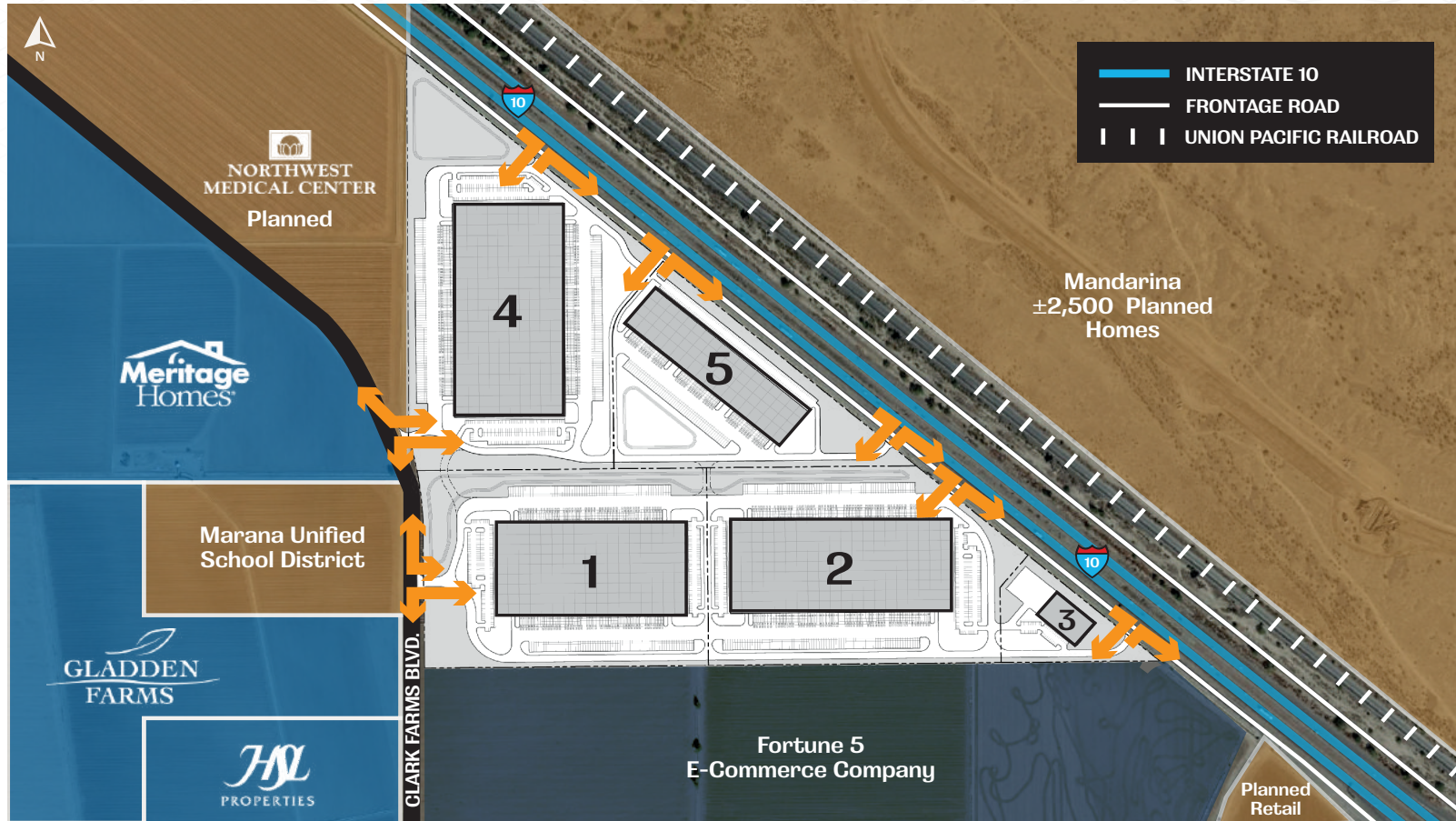
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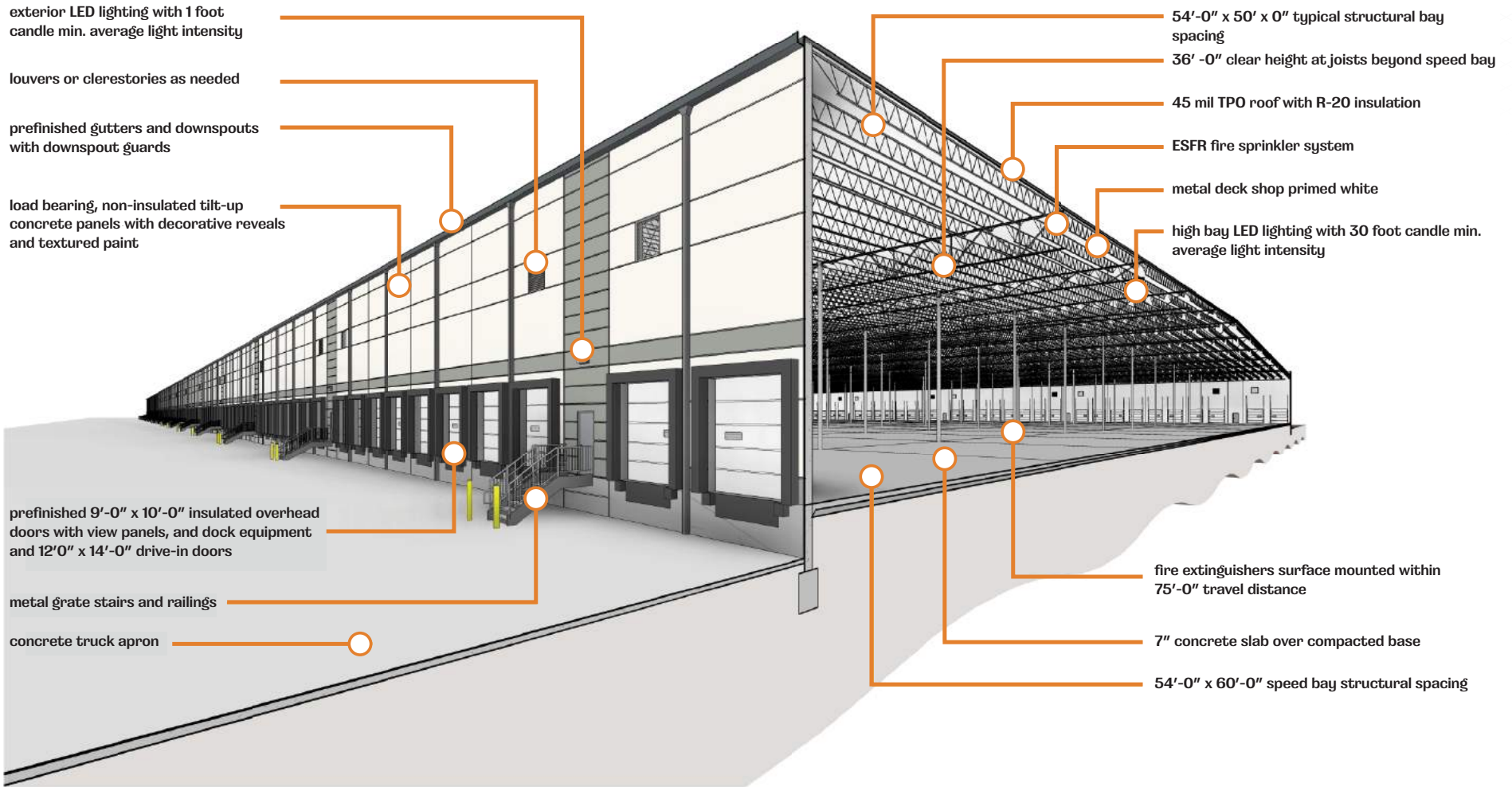


BLDG.	BLDG. SF	DIMENSIONS	PARKING SPACES	DOCK DOORS	TRAILER SPACES	DRIVE-IN DOORS	COLUMN SPACING	CLEAR HEIGHT	SITE AREA
1	431,460	470' x 918'	274	92	133	4	54' x 50' 54' x 60' speed bay	36'	1,379,552 SF [31.67 AC]
2	507,600	470' x 1,080'	284	112	150	4	54' x 50' 54' x 60' speed bay	36'	1,366,514 SF [31.37 AC]
3	37,500	150' x 250'	50	2	2	2	TBD	28'	234,857 SF [5.39 AC]
4	583,200	540' x 1,080'	366	114	148	4	54' x 50' 54' x 60' speed bay	36'	1,670,911 SF [38.36 AC]
5	213,840	220' x 972'	214	46	54	6	54' x 50' 54' x 60' speed bay	32'	925,920 SF [21.23 AC]
<b>TOTAL</b>	<b>1,773,600</b>		<b>1,188</b>	<b>366</b>	<b>485</b>	<b>20</b>			<b>5,577,754 SF [128.02 AC]</b>

ALL MEASUREMENTS ARE APPROXIMATE



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ALL MEASUREMENTS ARE APPROXIMATE



	<b>BUILDING 1</b>	<b>BUILDING 2</b>
<b>Building SF</b>	±431,460 SF	±507,600 SF
<b>Total Site Area</b>	±31.79 AC	±31.49 AC
<b>Auto Parking</b>	274 spaces	248 spaces
<b>Trailer Parking</b>	133 spaces	150 spaces
<b>Exterior Walls</b>	Reinforced tilt-up concrete wall panels with textured painted finish	Reinforced tilt-up concrete wall panels with textured painted finish
<b>Structural Steel</b>	12 x 12 columns/ Steel bar joists / White roof deck	12 x 12 columns/ Steel bar joists / White roof deck
<b>Slab Construction</b>	7" unreinforced   4,000 PSI	7" unreinforced   4,000 PSI
<b>Vapor Barrier</b>	2 bays of 15 mil vapor barrier under the slab at each building corner	2 bays of 15 mil vapor barrier under the slab at each building corner
<b>Dock Doors</b>	44 built   44 future   88 TOTAL	52 built   58 future   110 TOTAL
<b>Drive-in Doors</b>	4	4
<b>Roofing</b>	45 mil white TPO with R-20 insulation	45 mil white TPO with R-20 insulation
<b>HVAC</b>	Make-up air units to maintain 55 degrees minimum	Make-up air units to maintain 55 degrees minimum
<b>Fire Protection</b>	ESFR	ESFR
<b>Electrical Service</b>	3000 amps 480/277v	3000 amps 480/277v
<b>Lighting</b>	LED, 30 F.C.	LED, 30 F.C.
<b>Office</b>	Build to suit	Build to suit



	<b>BUILDING 3</b>	<b>BUILDING 4</b>	<b>BUILDING 5</b>
<b>Building SF</b>	±37,500 SF	±583,200 SF	±213,840 SF
<b>Total Site Area</b>	±5.39 AC	±38.36 AC	±21.23 AC
<b>Auto Parking</b>	50	366 spaces	214 spaces
<b>Trailer Parking</b>	2	148 spaces	54 spaces
<b>Exterior Walls</b>	Reinforced tilt-up concrete wall panels with textured painted finish	Reinforced tilt-up concrete wall panels with textured painted finish	Reinforced tilt-up concrete wall panels with textured painted finish
<b>Structural Steel</b>	12 x 12 columns/ Steel bar joists / White roof deck	12 x 12 columns/ Steel bar joists / White roof deck	12 x 12 columns/ Steel bar joists / White roof deck
<b>Slab Construction</b>	7" unreinforced   4,000 PSI	7" unreinforced   4,000 PSI	7" unreinforced   4,000 PSI
<b>Vapor Barrier</b>	2 bays of 15 mil vapor barrier under the slab at each building corner	2 bays of 15 mil vapor barrier under the slab at each building corner	2 bays of 15 mil vapor barrier under the slab at each building corner
<b>Dock Doors</b>	2	52 built   58 future   110 TOTAL	44 built   44 future   88 TOTAL
<b>Drive-in Doors</b>	2	4	6
<b>Roofing</b>	45 mil white TPO with R-20 insulation	45 mil white TPO with R-20 insulation	45 mil white TPO with R-20 insulation
<b>HVAC</b>	Make-up air units to maintain 55 degrees minimum	Make-up air units to maintain 55 degrees minimum	Make-up air units to maintain 55 degrees minimum
<b>Fire Protection</b>	ESFR	ESFR	ESFR
<b>Electrical Service</b>	800 amps 480/277v	3000 amps 480/277v	2000 amps 480/277v
<b>Lighting</b>	LED, 30 F.C.	LED, 30 F.C.	LED, 30 F.C.
<b>Office</b>	Build to suit	Build to suit	Build to suit



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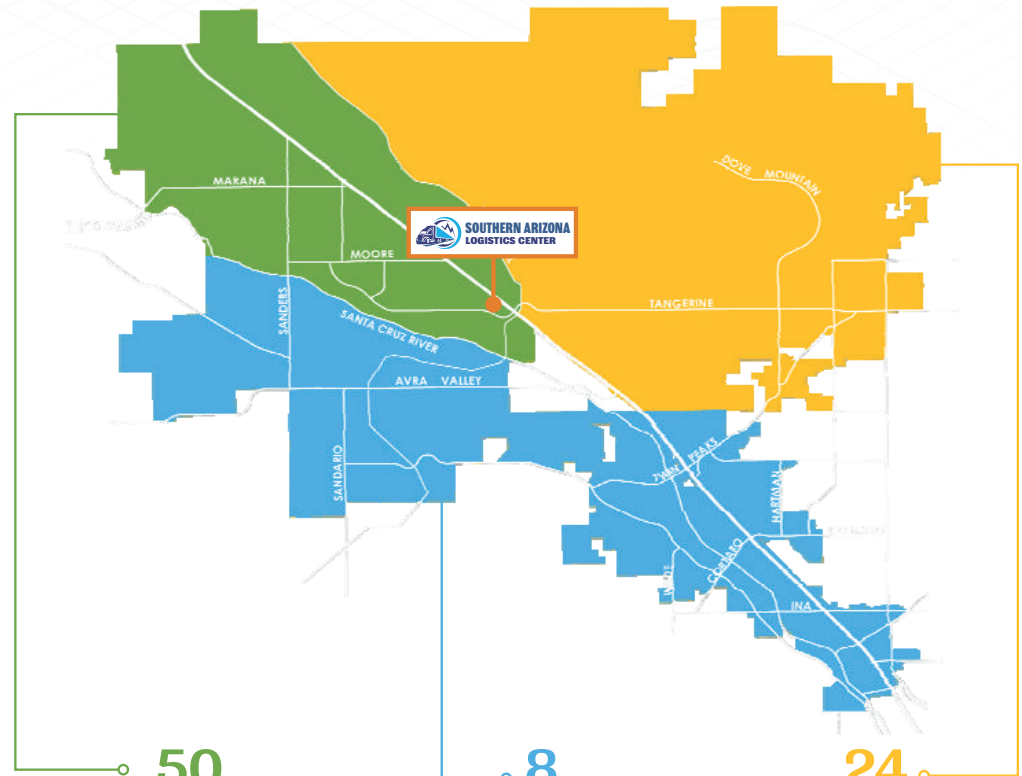




**SOUTHERN ARIZONA  
LOGISTICS CENTER**



**MARANA BUILT ENVIRONMENT  
SINGLE FAMILY RESIDENTIAL PERMITS BY REGION**



**50**  
NORTHWEST  
MARANA

Includes  
Gladden Farms, Farm  
Field Five

**8**  
SOUTH  
MARANA

Includes  
Saguaro Bloom,  
Lazy K, Desert Oasis

**24**  
NORTHEAST  
MARANA

Includes  
Dove Mountain,  
Tangerine Ridge

**TOTAL PERMITS ISSUED**

**82**  
8%

MAY 2021

**458**  
50%

CALENDAR  
YEAR TO DATE

**924**  
100%

FISCAL  
YEAR TO DATE

The Town of Marana Fiscal  
Year runs July 1 to June 30.



# SOUTHERN ARIZONA LOGISTICS CENTER



## POPULATION GROWTH

6.67% 1 mile  
3.69% 5 miles



## AVG. HOUSING VALUE

\$267,332 1 mile  
\$330,151 5 miles



## AVG. HOUSEHOLD INCOME

\$92,832 1 mile  
\$100,412 5 miles

SOURCE: ESRI 2021







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**CBRE**

**FLINT**  
DEVELOPMENT

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